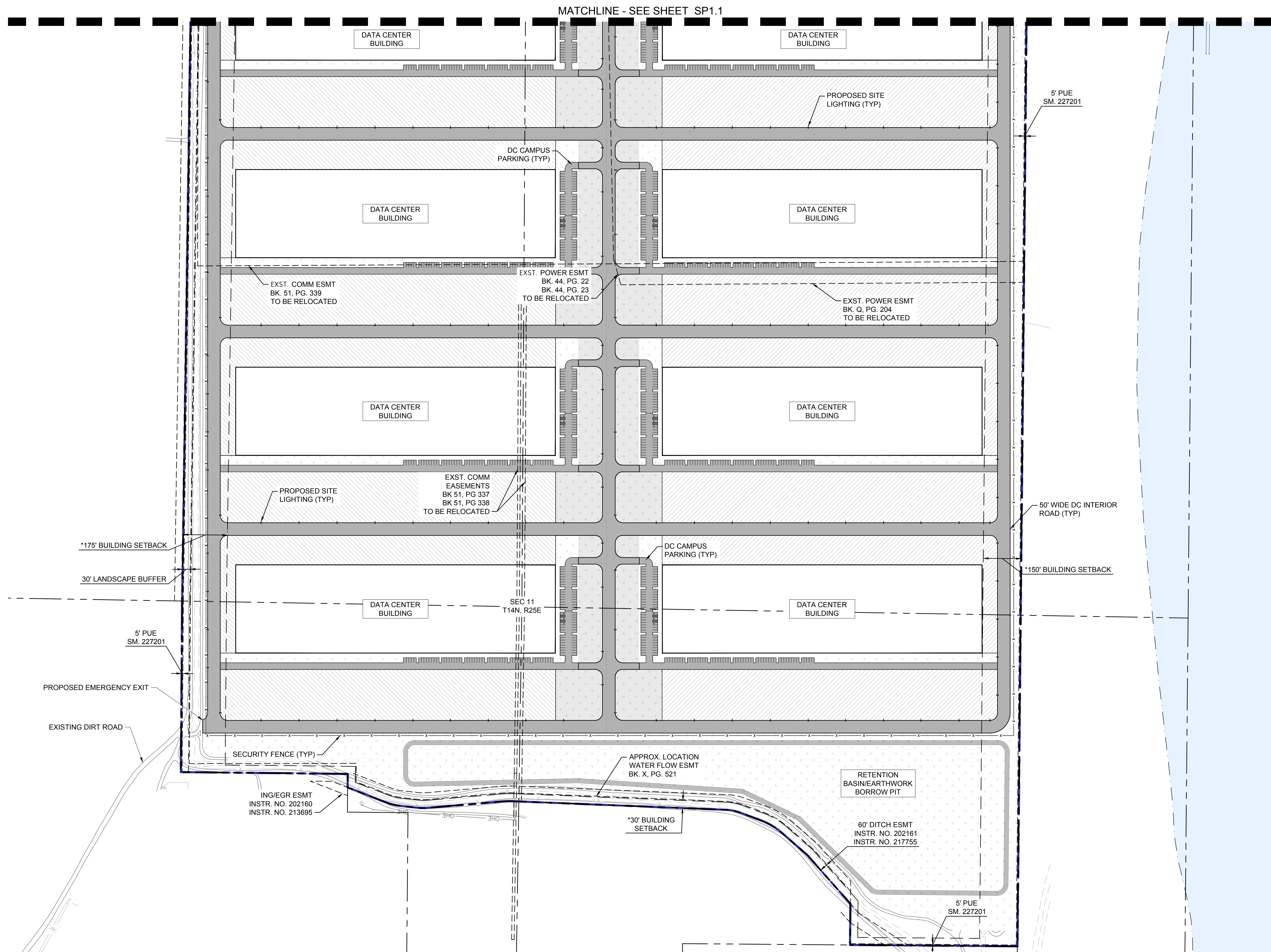


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Printed By: Gomez, Ethen. Street: Seti-Khan. Layout: SP1-2. May 29, 2026. 12:51:08pm. k:\NAV_Civil\Navar\291565069 - Copia Monarch Hygro and Site DD\Consolidated_Files\PUD_Site_PLAN.dwg
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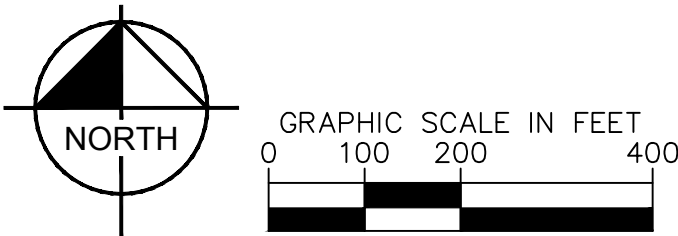


NOTES:

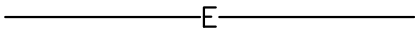
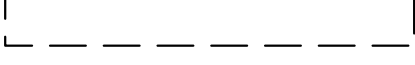
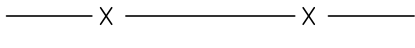
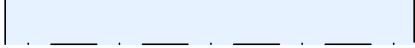
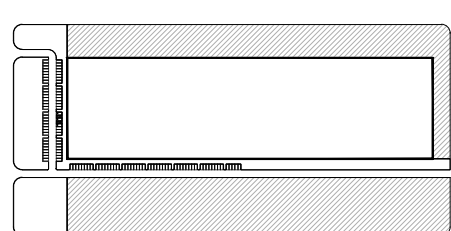
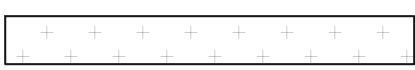
- SETBACK: MINIMUM 30 FEET WITH ADDITIONAL SETBACK DEPENDING ON BUILDING HEIGHT.
- PER SECTION 15.314.01.F.2., AN ADDITIONAL 2 FEET OF SETBACK FOR EVERY 1-FOOT OF BUILDING HEIGHT IN EXCESS OF 35 FEET WILL BE ACCOMMODATED IN FINAL DESIGN AND BUILDING PERMITS. THE ENCLOSED SITE PLAN INCLUDES A 150-FOOT AND 175-FOOT ON THE EAST AND WEST BOUNDARIES, RESPECTIVELY, TO ACCOMMODATE AN UP TO 95-FOOT BUILDING HEIGHT.

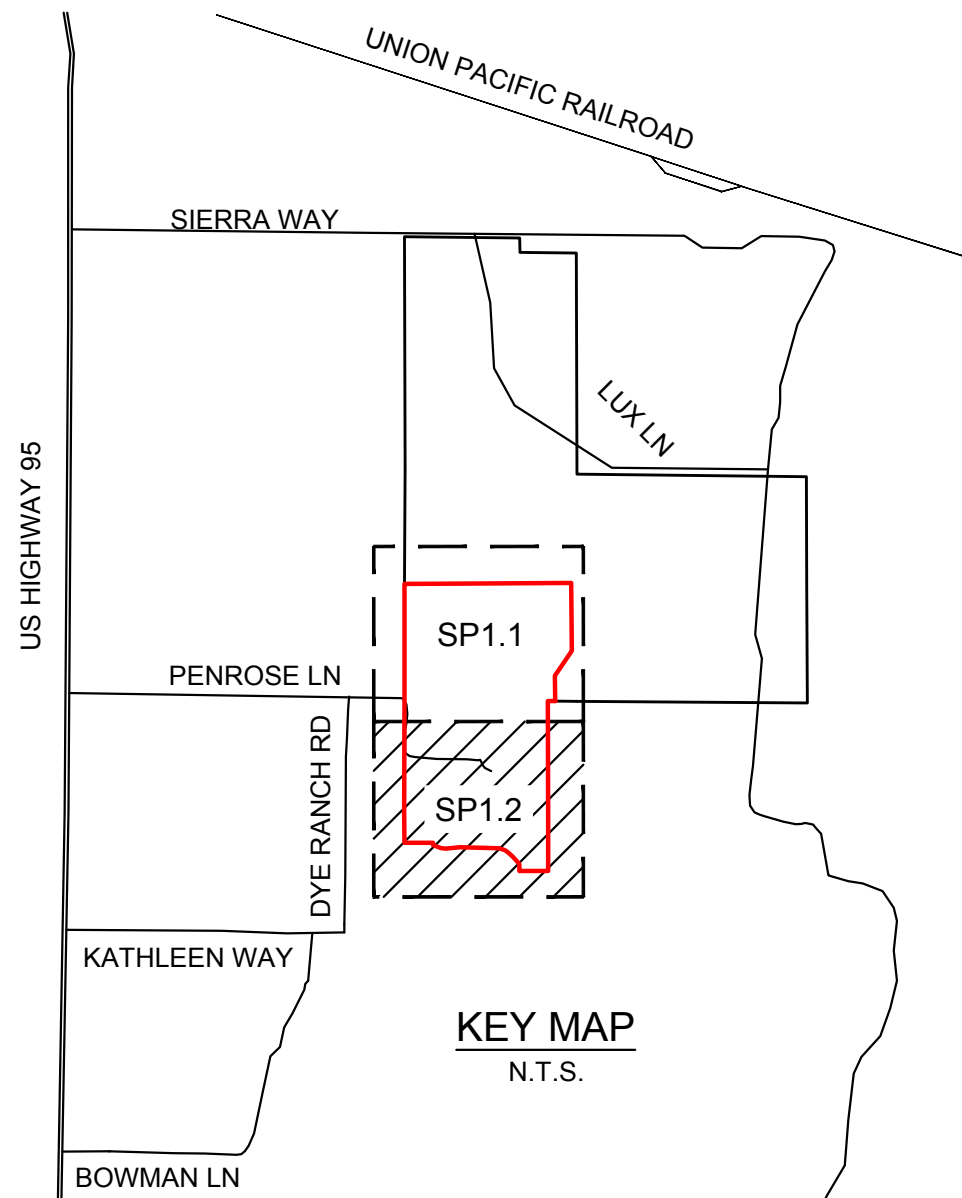
NOTE: ACTUAL BUILDING HEIGHT MAY VARY, DEPENDING ON THE FINAL BUILDING DESIGN AND ISSUE FOR CONSTRUCTION CIVIL DESIGNS PRIOR TO MINISTERIAL PERMITTING. BUILDINGS MAY BE CONSTRUCTED AS SINGLE-STORY OR TWO-STORY. REGARDLESS, DATA CENTER BUILDINGS WILL NOT EXCEED MORE THAN 4.6M SQUARE FEET, AS APPROVED BY THE SPECIFIC PLAN. ALL APPLICABLE CONDITIONS OF THE SPECIFIC PLAN WILL BE ADHERED TO.

THIS PRELIMINARY SITE PLAN IS
FOR CONCEPTUAL PURPOSES
ONLY AND REQUIRES DETAILED
PLANNING, ENGINEERING, AND
COUNTY APPROVALS



LEGEND

- | | |
|---|--|
|  | EXISTING PROPERTY BOUNDARY |
|  | PROPOSED MONARCH PROPERTY BOUNDARY |
|  | PARCEL LINE |
|  | EASEMENT LINE |
|  | SECTION LINE |
|  | EXISTING OVERHEAD LINES |
|  | EXISTING POWER POLE |
|  | EXISTING FENCE |
|  | EXISTING DITCH |
|  | EXISTING DITCH CENTERLINE |
|  | EXISTING ROAD |
|  | BUILDING SETBACK |
|  | LANDSCAPE BUFFER |
|  | PROPOSED OVERHEAD LINE |
|  | PROPOSED GEN-TIE LINE (NOT A PART UNDER SEPARATE CUP APPLICATION) |
|  | PROPOSED GEN-TIE ROUTE (NOT A PART UNDER SEPARATE CUP APPLICATION) |
|  | PROPOSED FENCE LINE |
|  | FEMA ZONE A |
|  | RETENTION/EARTHWORK BORROW PIT |
|  | MV CORRIDOR |
|  | DATA CENTER BUILDING |
|  | DATA CENTER BUILDING UTILITY AND EQUIPMENT YARD |
|  | ON-SITE INTERIOR ROAD |
|  | PROPOSED ACCESS ROAD |
|  | OPEN SPACE (REFERENCE CONCEPTUAL LANDSCAPING PLANS FOR DETAILS) |
|  | SITE LIGHTING |
|  | PROPOSED IRRIGATION DITCH REROUTE |



SHEET NUMBER	SP1.2					
MONARCH						
LYON COUNTY, NV						
CONCEPTUAL SITE PLAN						
KHA PROJECT 291565069	DATE 5/29/2026	SCALE AS SHOWN	FOR REVIEW ONLY			
DRAWN BY ECG	DESIGNED BY ECG	NOT FOR CONSTRUCTION				
CHECKED BY CHS	Kimley»Horn					
Preliminary © 2026 KIMLEY-HORN AND ASSOCIATES, INC. 2046 RIVERVIEW AUTO DRIVE SUITE 400 MESA, AZ 85201 PHONE: 480-207-2666 WWW.KIMLEY-HORN.COM						
Copia Power A Coyote Portfolio Company			No.			
			Revisions		Date	By